

BEST MANAGEMENT PRACTICE NOTES:

- EVERY EFFORT SHOULD BE MADE TO ELIMINATE THE DISCHARGE OF NON-STORMWATER FROM THE PROJECT SITE AT ALL TIMES.
- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEETFLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
- FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- ANY SLOPES WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
- AS THE PROJECT OWNER OR AUTHORIZED AGENT OF THE OWNER, I HAVE READ AND UNDERSTAND THE REQUIREMENTS LISTED ABOVE, NECESSARY TO CONTROL STORM WATER POLLUTION FROM SEDIMENTS, EROSION, AND CONSTRUCTION MATERIALS AND I CERTIFY THAT I WILL COMPLY WITH THESE REQMENTS.

PRINT NAME _____ (Owner or authorized agent of owner)
 SIGNATURE _____ DATE _____
 (Owner or authorized agent of the owner)

STORMWATER POLLUTION PLAN NOTES

THE FOLLOWING BMP'S AS OUTLINED IN, BUT NOT LIMITED TO, THE CALIFORNIA STORMWATER BEST MANAGEMENT PRACTICES HANDBOOK, JANUARY, 2003 OR THE LATEST REVISED EDITION, MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT (ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY PROJECT ENGINEER OR THE BUILDING OFFICIAL)

EROSION CONTROL	NON-STORMWATER MANAGEMENT
EC1- SCHEDULING	NS1- WATER CONSERVATION PRACTICES
EC2- PRESERVATION OF EX. VEGETATION	NS2- DEWATERING OPERATIONS
EC3- HYDRAULIC MULCH	NS3- PAVING AND GRINDING OPERATIONS
EC4- HYDROSEEDING	NS4- TEMPORARY STREAM CROSSING
EC5- SOIL BINDERS	NS5- CLEAR WATER DIVERSION
EC5- STRAW MULCH	NS6- ILLICIT CONNECTION/DISCHARGE
EC7- GEOTEXTILES & MATS	NS7- POTABLE WATER/IRRIGATION
EC8- WOOD MULCHING	NS8- VEHICLE AND EQUIPMENT CLEANING
EC9- EARTH DIKES AND DRAINAGE SWALES	NS9- VEHICLE AND EQUIPMENT FUELING
EC10- VELOCITY DISSIPATION DEVICES	NS10- VEHICLE AND EQUIPMENT MAINTENANCE
EC11- SLOPE DRAINS	NS11- PILE DRIVING OPERATIONS
EC12- STREAMBANK STABILIZATION	NS12- CONCRETE CURING
EC14- COMPOST BLANKETS	NS13- CONCRETE FINISHING
EC15- SOIL PREPARATION/ROUGHENING	NS14- MATERIAL AND EQUIPMENT USE
EC16- NON-VEGETATED STABILIZATION	NS15- DEMOLITION ADJACENT WATER
	NS16- TEMPORARY BATCH PLANTS
TEMPORARY SEDIMENT CONTROL	WASTE MANAGEMENT & MATERIAL POLLUTION CONTROL
SE1- SILT FENCE	WM1- MATERIAL DELIVERY AND STORAGE
SE2- SEDIMENT BASIN	WM2- MATERIAL USE
SE3- SEDIMENT TRAP	WM3- STOCKPILE MANAGEMENT
SE4- CHECK DAM	WM4- SPILL PREVENTION AND CONTROL
SE5- FIBER ROLLS	WM5- SOLID WASTE MANAGEMENT
SE6- GRAVEL BAG BERM	WM6- HAZARDOUS WASTE MANAGEMENT
SE7- STREET SWEEPING AND VACUUMING	WM7- CONTAMINATION SOIL MANAGEMENT
SE8- SANDBAG BARRIER	WM8- CONCRETE WASTE MANAGEMENT
SE9- STRAW BARRIER	WM9- SANITARY/SEPTIC WASTE MANAGEMENT
SE10- STORM DRAIN INLET PROTECTION	WM10- LIQUID WASTE MANAGEMENT
SE11- ACTIVE TREATMENT SYSTEMS	
SE12- TEMPORARY SILT DIKE	EQUIPMENT TRACKING CONTROL
SE13- COMPOST SOCKS & BERMS	TC1- STABILIZED CONSTRUCTION ENTRANCE EXIT
SE14- BIOFILTER BAGS	TC2- STABILIZED CONSTRUCTION ROADWAY
WIND EROSION CONTROL	TC3- ENTRANCE/OUTLET TIRE WASH
WE1- WIND EROSION CONTROL	

STATEMENT OF UNDERSTANDING

AS THE PROJECT OWNER OR AUTHORIZED AGENT OF THE OWNER, I HAVE READ AND UNDERSTAND THE REQUIREMENTS TO CONTROL STORM WATER POLLUTION FROM SEDIMENTS, EROSION AND CONSTRUCTION MATERIALS AND I CERTIFY THAT I WILL COMPLY WITH THESE REQUIREMENTS. I, OR MY REPRESENTATIVE, CONTRACTOR, DEVELOPER OR ENGINEER WILL MAKE CERTAIN THAT ALL BMP'S SHOWN ON THIS PLAN WILL BE FULLY IMPLEMENTED AND ALL EROSION CONTROL DEVICES WILL BE KEPT CLEAN AND FUNCTIONING. PERIODIC INSPECTIONS OF THE BMP'S WILL BE CONDUCTED AND A CURRENT LOG SPECIFYING TH EXACT NATURE OF THE INSPECTION AND ANY REMEDIAL MEASURES WILL BE KEPT AT THE CONSTRUCTION SITE AT ALL TIMES AND WILL BE AVAILABLE FOR THE REVIEW BY THE BUILDING OFFICIAL.

AS THE PROJECT OWNER OR AUTHORIZED AGENT OF THE OWNER, I CERTIFY THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHER AND EVALUATE THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE INFORMATION SUBMITTED IS TRUE, ACCURATE AND COMPLETE. I AM AWARE THAT SUBMITTING FALSE AND/OR INACCURATE INFORMATION, FAILING TO UPDATE THE LOCAL SWPPP TO REFLECT CURRENT CONDITIONS OR FAILING TO PROPERLY AND/OR ADEQUATELY IMPLEMENT THE LOCAL SWPPP MAY RESULT IN REVOCATION OF GRADING AND/OR OTHER PERMITS OR SANCTIONS PROVIDED BY LAW".

OWNER OR AUTHORIZED REPRESENTATIVE _____ DATE _____

ESTIMATED START OF CONSTRUCTION = _____
 ESTIMATED COMPLETION OF CONSTRUCTION = _____
 ESTIMATED EARTHWORK QUANTITIES ARE LISTED FOR CITY PERMIT PURPOSES ONLY. ACTUAL QUANTITIES MAY VARY DUE TO STRIPPING, SHRINKAGE, COMPACTION METHODS, ETC.

ADDRESS	CUT	FILL	IMPORT	EXPORT
3910 SIERRA HWY	590	590	0	0

TOTAL ESTIMATED REMOVAL & RECOMPACTION = 12,945 CUBIC YARDS
 TOTAL ESTIMATED HANDLED = 13,535 CUBIC YARDS

GENERAL NOTES:

- ALL GRADING AND CONSTRUCTION SHALL CONFORM TO THE 2017 COUNTY OF LOS ANGELES BUILDING CODES AND THE STATE MODEL WATER EFFICIENCY ORDINANCE UNLESS SPECIFICALLY NOTED ON THESE PLANS.
- ANY MODIFICATIONS OR CHANGES TO APPROVED GRADING PLANS MUST BE APPROVED BY THE BUILDING OFFICIAL.
- NO GRADING SHALL BE STARTED WITHOUT FIRST NOTIFYING THE BUILDING OFFICIAL. A PRE-GRADING MEETING AT THE SITE IS REQUIRED BEFORE THE START OF THE GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOILS ENGINEER, GEOLOGIST, COUNTY GRADING INSPECTOR(S) OR THEIR REPRESENTATIVES, AND WHEN REQUIRED THE ARCHEOLOGIST OR OTHER JURISDICTIONAL AGENCIES. PERMITTEE OR HIS AGENT ARE RESPONSIBLE FOR ARRANGING PRE-GRADING MEETING AND MUST NOTIFY THE BUILDING OFFICIAL AT LEAST TWO BUSINESS DAYS PRIOR TO PROPOSED PRE-GRADE MEETING.
- APPROVAL OF THESE PLANS REFLECT SOLELY THE REVIEW OF PLANS IN ACCORDANCE WITH THE COUNTY OF LOS ANGELES BUILDING CODES AND DOES NOT REFLECT ANY POSITION BY THE COUNTY OF LOS ANGELES OR THE DEPARTMENT OF PUBLIC WORKS REGARDING THE STATUS OF ANY TITLE ISSUES RELATING TO THE LAND ON WHICH THE IMPROVEMENTS MAY BE CONSTRUCTED. ANY DISPUTES RELATING TO TITLE ARE SOLELY A PRIVATE MATTER NOT INVOLVING THE COUNTY OF LOS ANGELES OR THE DEPARTMENT OF PUBLIC WORKS.
- ALL GRADING AND CONSTRUCTION ACTIVITIES SHALL COMPLY WITH COUNTY OF LOS ANGELES CODE, TITLE 12, SECTION 12.12.030 THAT CONTROLS AND RESTRICTS NOISE FROM THE USE OF CONSTRUCTION AND GRADING EQUIPMENT FROM THE HOURS OF 8:00 PM TO 6:30 AM, AND ON SUNDAYS AND HOLIDAYS.
- CALIFORNIA PUBLIC RESOURCES CODE (SECTION 5097.98) AND HEALTH AND SAFETY CODE (SECTION 7050.5) ADDRESS THE DISCOVERY AND DISPOSITION OF HUMAN REMAINS. IN THE EVENT OF DISCOVERY OR RECOGNITION OF ANY HUMAN REMAINS IN ANY LOCATION OTHER THAN A DEDICATED CEMETARY, THE LAW REQUIRES THAT GRADING IMMEDIATELY STOPS AND NO FURTHER EXCAVATION OR DISTURBANCE OF THE SITE OR ANY NEARBY AREA WHERE HUMAN REMAINS MAY BE LOCATED, OCCUR UNTIL THE FOLLOWING MEASURES HAVE BEEN TAKEN:
 - THE COUNTY CORONER HAS BEEN INFORMED AND HAS DETERMINED THAT NO INVESTIGATION OF THE CAUSE OF DEATH IS REQUIRED, AND
 - IF THE REMAINS ARE OF NATIVE AMERICAN ORIGIN, THE DESCENDANTS FROM THE DECEASED NATIVE AMERICANS HAVE MADE A RECOMMENDATION FOR THE MEANS OF TREATING OR DISPOSING, WITH APPROPRIATE DIGNITY, OF THE HUMAN REMAINS AND ANY ASSOCIATED GRAVE GOODS.
- THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.
- ALL EXPORT OF MATERIAL FROM THE SITE MUST GO TO A PERMITTED SITE APPROVED BY THE BUILDING OFFICIAL OR A LEGAL DUMPSITE. RECEIPTS FOR ACCEPTANCE OF EXCESS MATERIAL BY A DUMPSITE ARE REQUIRED AND MUST BE PROVIDED TO THE BUILDING OFFICIAL UPON REQUEST.
- A COPY OF THE GRADING PERMIT AND APPROVED GRADING PLANS MUST BE IN THE POSSESSION OF A RESPONSIBLE PERSON AND AVAILABLE AT THE SITE AT ALL TIMES.
- SITE BOUNDARIES, EASEMENTS, DRAINAGE DEVICES, RESTRICTED USE AREAS SHALL BE LOCATED PER CONSTRUCTION STAKING BY FIELD ENGINEER OR LICENSED SURVEYOR, PRIOR TO GRADING, AS REQUESTED BY THE BUILDING OFFICIAL. ALL PROPERTY LINES, EASEMENTS AND RESTRICTED USE AREAS SHALL BE STAKED.
- NO GRADING OR CONSTRUCTION SHALL OCCUR WITHIN THE PROTECTED ZONE OF ANY OAK TREE AS REQUIRED PER TITLE CHAPTER 22.56 OF THE COUNTY OF LOS ANGELES ZONING CODE. THE PROTECTED ZONE SHALL MEAN THAT AREA WITHIN THE DRIP LINE OF AN OAK TREE EXTENDING THERE FROM A POINT AT LEAST FIVE FEET OUTSIDE THE DRIP LINE OR 15 FEET FROM THE TRUNK(S) OF A TREE, WHICHEVER IS GREATER.
- THE STANDARD RETAINING WALL DETAILS SHOWN ON THE GRADING PLANS ARE FOR REFERENCE ONLY. STANDARD RETAINING WALLS ARE NOT CHECKED, PERMITTED OR INSPECTED PER THE GRADING PERMIT. A SEPARATE RETAINING WALL PERMIT IS REQUIRED FOR ALL STANDARD RETAINING WALLS.
- A PREVENTIVE PROGRAM TO PROTECT THE SLOPES FROM POTENTIAL DAMAGE FROM BURROWING RODENTS IS REQUIRED PER SECTION J101.8 OF THE COUNTY OF LOS ANGELES BUILDING CODE. OWNER IS TO INSPECT SLOPES PERIODICALLY FOR EVIDENCE OF BURROWING RODENTS AND AT FIRST EVIDENCE OF THEIR EXISTENCE SHALL EMPLOY AN EXTERMINATOR FOR THEIR REMOVAL.
- WHERE A GRADING PERMIT IS ISSUED AND THE BUILDING OFFICIAL DETERMINES THAT THE GRADING WILL NOT BE COMPLETED PRIOR TO NOVEMBER 1, THE OWNER OF THE SITE ON WHICH GRADING IS BEING PERFORMED SHALL, ON OR BEFORE OCTOBER 1, FILE OR CAUSE TO BE FILED WITH THE BUILDING OFFICIAL AN ESCP PER SECTION J110.8.3 OF THE COUNTY OF LOS ANGELES BUILDING CODE.
- TRANSFER OF RESPONSIBILITY: IF THE FIELD ENGINEER, THE SOILS ENGINEER OR THE ENGINEERING GEOLOGIST OF RECORD IS CHANGED DURING GRADING, THE WORK SHALL BE STOPPED UNTIL THE REPLACEMENT HAS AGREED IN WRITING TO ACCEPT THEIR RESPONSIBILITY WITHIN THE AREA OF TECHNICAL COMPETENCE FOR APPROVAL UPON COMPLETION OF THE WORK. IT SHALL BE THE DUTY OF THE PERMITTEE TO NOTIFY THE BUILDING OFFICIAL IN WRITING OF SUCH CHANGE PRIOR TO THE RECOMMENCEMENT OF SUCH GRADING.

INSPECTION NOTES:

- THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE BUILDING OFFICIAL AT LEAST ONE WORKING DAY IN ADVANCE OF REQUIRED INSPECTIONS AT THE FOLLOWING STAGES OF THE WORK. (SECTION J105.7 OF BUILDING CODE)
 - PRE-GRADE: BEFORE THE START OF ANY EARTH DISTURBING ACTIVITY OR CONSTRUCTION.
 - INITIAL: WHEN THIS SITE HAS BEEN CLEARED OF VEGETATION AND UNAPPROVED FILL HAS BEEN SCARIFIED BENCHED OR OTHERWISE PREPARED FOR FILL. FILL SHALL NOT BE PLACED PRIOR TO THIS INSPECTION. NOTE: PRIOR TO ANY CONSTRUCTION ACTIVITIES, INCLUDING GRADING, ALL STORM WATER POLLUTION PREVENTION MEASURES INCLUDING EROSION CONTROL DEVICES WHICH CONTAIN SEDIMENTS MUST BE INSTALLED.
 - ROUGH: WHEN APPROXIMATE FINAL ELEVATIONS HAVE BEEN ESTABLISHED; DRAINAGE TERRACES, SWALES AND BERMS INSTALLED AT THE TOP OF THE SLOPE; AND THE STATEMENTS REQUIRED IN THIS SECTION HAVE BEEN RECEIVED.
 - FINAL: WHEN GRADING HAS BEEN COMPLETED; ALL DRAINAGE DEVICES INSTALLED; SLOPE PLANTING ESTABLISHED, IRRIGATION SYSTEMS INSTALLED AND THE AS-BUILT PLANS, REQUIRED STATEMENTS AND REPORTS HAVE BEEN SUBMITTED AND APPROVED.
- IN ADDITION TO THE INSPECTION REQUIRED OF THE BUILDING OFFICIAL FOR GRADING, REPORTS AND STATEMENTS SHALL BE SUBMITTED TO THE BUILDING OFFICIAL IN ACCORDANCE WITH SECTION J105 OF THE COUNTY OF LOS ANGELES BUILDING CODE.
- UNLESS OTHERWISE DIRECTED BY THE BUILDING OFFICIAL, THE FIELD ENGINEER FOR ALL ENGINEERED GRADING PROJECTS SHALL PREPARE ROUTINE INSPECTION REPORTS AS REQUIRED UNDER SECTION J105.11 OF THE COUNTY OF LOS ANGELES BUILDING CODE. THESE REPORTS, KNOWN AS "REPORT OF GRADING ACTIVITIES", SHALL BE SUBMITTED TO THE BUILDING OFFICIAL AS FOLLOWS:
 - BI-WEEKLY WHEN GRADING OF 400 CUBIC YARDS OR MORE PER WEEK IS OCCURRING ON THE SITE;
 - MONTHLY, AT ALL OTHER TIMES; AND
 - AT ANY TIME WHEN REQUESTED IN WRITING BY THE BUILDING OFFICIAL.
 SUCH "REPORT OF GRADING ACTIVITIES" SHALL CERTIFY TO THE BUILDING OFFICIAL THAT THE FIELD ENGINEER HAS INSPECTED THE GRADING SITE AND RELATED ACTIVITIES AND HAS FOUND THEM IN COMPLIANCE WITH THE APPROVED GRADING PLANS AND SPECIFICATIONS, THE BUILDING CODE, ALL GRADING PERMIT CONDITIONS AND ALL OTHER APPLICABLE ORDINANCES AND REQUIREMENTS. THIS FORM IS AVAILABLE AT THE FOLLOWING WEBSITE: <http://dpm.lacounty.gov/bsd/dg/default.aspx> "REPORT OF GRADING ACTIVITIES" MAY BE SCANNED AND UPLOADED AT THE WEBSITE OR FAXED TO (310)530-5482. FAILURE TO PROVIDE REQUIRED INSPECTION REPORTS WILL RESULT IN A "STOP WORK ORDER".
- ALL GRADED SITES MUST HAVE DRAINAGE SWALES, BERMS AND OTHER DRAINAGE DEVICES INSTALLED PRIOR TO ROUGH GRADING APPROVAL PER SECTION J105.7 OF THE COUNTY OF LOS ANGELES BUILDING CODE.
- THE GRADING CONTRACTOR SHALL SUBMIT THE STATEMENT TO THE GRADING INSPECTOR AS REQUIRED BY SECTION J105.12 OF THE COUNTY OF LOS ANGELES BUILDING CODE AT THE COMPLETION OF ROUGH GRADING.
- FINAL GRADING MUST BE APPROVED BEFORE OCCUPANCY OF BUILDINGS WILL BE ALLOWED PER SECTION J105 OF THE COUNTY OF LOS ANGELES BUILDING CODE.

DRAINAGE NOTES:

- ROOF DRAINAGE MUST BE DIVERTED FROM GRADED SLOPES.
- PROVISIONS SHALL BE MADE FOR CONTRIBUTORY DRAINAGE AT ALL TIMES.

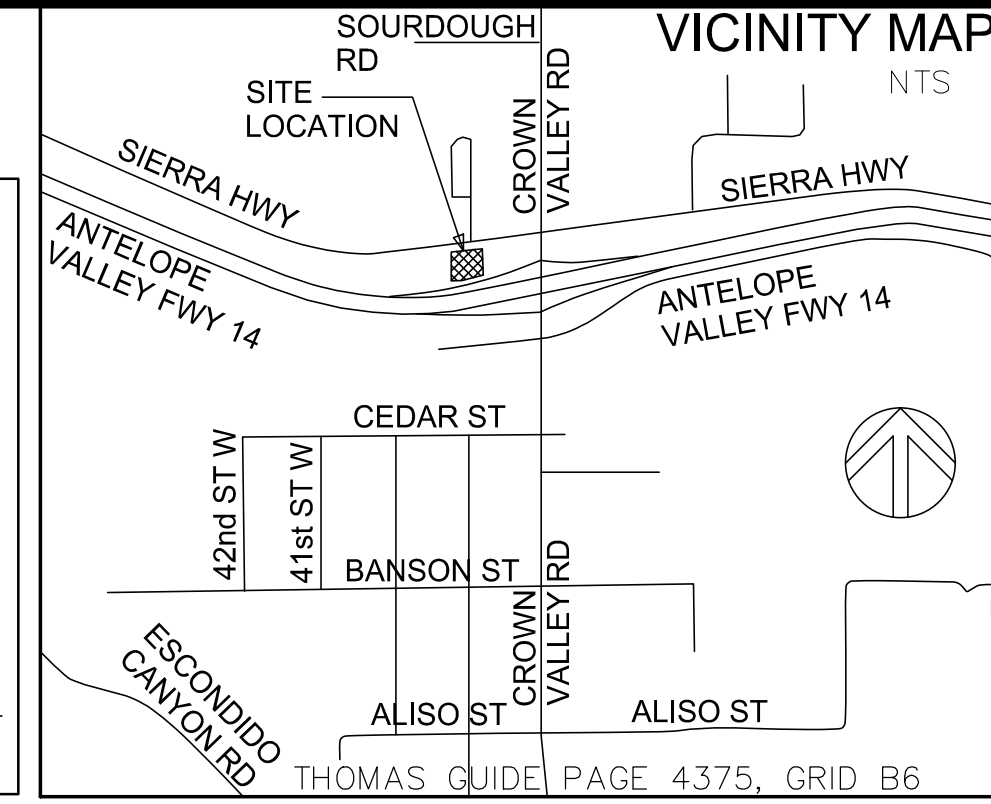
FILL NOTES:

- ALL FILL SHALL BE COMPACTED TO THE FOLLOWING MINIMUM RELATIVE COMPACTION CRITERIA:
 - 90 PERCENT OF MAXIMUM DRY DENSITY WITHIN 40 FEET BELOW FINISH GRADE.
 - 93 PERCENT OF MAXIMUM DRY DENSITY DEEPER THAN 40 FEET BELOW FINISH GRADE, UNLESS A LOWER RELATIVE COMPACTION (NOT LESS THAN 90 PERCENT OF MAXIMUM DRY DENSITY) IS JUSTIFIED BY THE GEOTECHNICAL ENGINEER.
 THE RELATIVE COMPACTION SHALL BE DETERMINED BY A.S.T.M. SOIL COMPACTION TEST D1557-91 WHERE APPLICABLE; WHERE NOT APPLICABLE, A TEST ACCEPTABLE TO THE BUILDING OFFICIAL SHALL BE USED. (SECTION J107.5 OF THE COUNTY OF LOS ANGELES BUILDING CODE)

ALL WORK WITHIN STREET RIGHT OF WAY SHALL BE PER SEPARATE PERMIT.

AS CIVIL ENGINEER OF THIS PROJECT, I HAVE IDENTIFIED THE LOCATION OF ALL EASEMENTS WHICH ARE DEPICTED ON THESE PLANS. I HAVE REVIEWED THE PROPOSED EASEMENT DOCUMENTS AND VERIFIED THE PROPOSED CONSTRUCTION DOES NOT CONFLICT OR INTERFERE WITH THE INTENDED EASEMENT USE.

REGISTERED ENGINEER R.C.E DATE _____



GENERAL NOTES: (CONTINUED)

- FIELD DENSITY SHALL BE DETERMINED BY A METHOD ACCEPTABLE TO THE BUILDING OFFICIAL. (SECTION J107.5 OF THE COUNTY OF LOS ANGELES BUILDING CODE) HOWEVER, NOT LESS THAN 10% OF THE REQUIRED DENSITY TEST, UNIFORMLY DISTRIBUTED, AND SHALL BE OBTAINED BY THE SAND CONE METHOD.
- SUFFICIENT TESTS OF THE FILL SOILS SHALL BE MADE TO DETERMINE THE RELATIVE COMPACTION OF THE FILL IN ACCORDANCE WITH THE FOLLOWING MINIMUM GUIDELINES:
 - ONE TEST FOR EACH TWO-FOOT VERTICAL LIFT.
 - ONE TEST FOR EACH 1,000 CUBIC YARDS OF MATERIAL PLACED.
 - ONE TEST AT THE LOCATION OF THE FINAL FILL SLOPE FOR EACH BUILDING SITE (LOT) IN EACH FOUR-FOOT VERTICAL LIFT OR PORTION THEREOF.
 - ONE TEST IN THE VICINITY OF EACH BUILDING PAD FOR EACH 4-FOOT VERTICAL LIFT OR PORTION THEREOF.
- SUFFICIENT TESTS OF FILL SOILS SHALL BE MADE TO VERIFY THAT THE SOIL PROPERTIES COMPLY WITH THE DESIGN REQUIREMENTS AS DETERMINED BY THE SOIL ENGINEER INCLUDING SOIL TYPES, SHEAR STRENGTHS, PARAMETERS AND CORRESPONDING UNIT WEIGHTS IN ACCORDANCE WITH THE FOLLOWING GUIDELINES:
 - PRIOR AND SUBSEQUENT TO PLACEMENT OF THE FILL, SHEAR TESTS SHALL BE TAKEN ON EACH TYPE OF SOIL OR MIXTURE TO BE USED FOR ALL FILL SLOPES STEEPER THAN THREE (3) HORIZONTAL TO ONE VERT.
 - SHEAR TEST RESULTS FOR THE PROPOSED FILL MATERIAL MUST MEET OR EXCEED THE DESIGN VALUES USED IN THE GEOTECHNICAL REPORT TO DETERMINE SLOPE STABILITY REQUIREMENTS. OTHERWISE THE SLOPE MUST BE REEVALUATED USING THE ACTUAL SHEAR TEST VALUE OF THE FILL MATERIAL THAT IS IN PLACE. C. FILL SOILS SHALL BE FREE OF DELETERIOUS MATERIALS.
- FILL SHALL NOT BE PLACED UNTIL STRIPPING OF VEGETATION, REMOVAL OF UNSUITABLE SOILS AND INSTALLATION OF SUBDRAIN (IF ANY) HAVE BEEN INSPECTED AND APPROVED A THE SOIL ENGINEER. THE BUILDING OFFICIAL MAY REQUIRE "STANDARD TEST METHOD FOR MOISTURE, ASH, ORGANIC MATTER, PEAT OR OTHER ORGANIC SOILS" ASTM D-2974-87 ON ANY SUSPECT MATERIAL. DETRIMENTAL AMOUNTS OF ORGANIC MATERIAL SHALL NOT BE PERMITTED IN FILLS. SOIL CONTAINING SMALL AMOUNTS OF ROOTS MAY BE ALLOWED PROVIDED THAT THE ROOTS ARE IN A QUANTITY AND DISTRIBUTED IN A MANNER THAT WILL NOT BE DETRIMENTAL TO THE FUTURE USE OF THE SITE AND THE SOILS ENGINEER APPROVES THE USE OF SUCH MATERIAL.
- ROCK OR SIMILAR MATERIAL GREATER THAN 12 INCHES IN DIAMETER SHALL NOT BE PLACED IN THE FILL UNLESS RECOMMENDATIONS FOR SUCH PLACEMENT HAVE BEEN SUBMITTED BY THE SOIL ENGINEER AND APPROVED IN ADVANCE BY THE BUILDING OFFICIAL. LOCATION, EXTENT AND ELEVATION OF ROCK DISPOSAL AREAS MUST BE SHOWN ON AN "AS-BUILT" GRADING PLAN.
- CONTINUOUS INSPECTION BY THE SOIL ENGINEER OR A RESPONSIBLE REPRESENTATIVE SHALL BE PROVIDED DURING ALL FILL PLACEMENT AND COMPACTION OPERATIONS WHERE FILLS HAVE A DEPTH GREATER THAN 30 FEET OR SLOPE SURFACE STEEPER THAN 2:1 (SECTION J107.8 OF THE COUNTY OF LOS ANGELES BUILDING CODE).
- ALL SUBDRAIN OUTLETS ARE TO BE SURVEYED FOR LINE AND ELEVATION. SUBDRAIN INFORMATION MUST BE SHOWN ON AN "AS-BUILT" GRADING PLAN.
- ALL WORK MUST BE IN COMPLIANCE WITH THE RECOMMENDATIONS INCLUDED IN THE GEOTECHNICAL CONSULTANT'S REPORT(S) AND THE APPROVED GRADING PLANS AND SPECIFICATIONS.
- GRADING OPERATIONS MUST BE MUST BE CONDUCTED UNDER PERIODIC INSPECTIONS BY THE GEOTECHNICAL CONSULTANTS WITH MONTHLY INSPECTION REPORTS TO BE SUBMITTED TO THE GEOLOGY AND SOILS SECTION. 900 S. FREMONT, ALHAMBRA, CA 91803 - 3RD FLOOR
- THE SOIL ENGINEER SHALL PROVIDE SUFFICIENT INSPECTIONS DURING THE PREPARATION OF THE NATURAL GROUND AND THE PLACEMENT AND COMPACTION OF THE FILL TO BE SATISFIED THAT THE WORK IS BEING PERFORMED IN ACCORDANCE WITH THE PLAN AND APPLICABLE CODE REQUIREMENTS.
- ROUGH GRADING MUST BE APPROVED BY A FINAL ENGINEERING GEOLOGY AND SOILS ENGINEERING REPORT. AN AS-BUILT GEOLOGIC MAP MUST BE INCLUDED IN THE FINAL GEOLOGY REPORT. PROVIDE A FINAL REPORT STATEMENT THAT VERIFIES WORK WAS DONE IN ACCORDANCE WITH REPORT RECOMMENDATIONS AND CODE PROVISIONS (SECTION J105.12 OF THE COUNTY OF LOS ANGELES BUILDING CODE). THE FINAL REPORT(S) MUST BE SUBMITTED TO THE GEOTECHNICAL AND MATERIALS ENGINEERING DIVISION FOR REVIEW AND APPROVAL.
- FOUNDATION WALL AND POOL EXCAVATIONS MUST BE INSPECTED AND APPROVED BY THE CONSULTING GEOLOGIST AND SOILS ENGINEER PRIOR TO THE PLACING OF STEEL OR CONCRETE.
- THE UNDERSIGNED CIVIL ENGINEER HEREBY STATES THAT THESE PLANS WERE PREPARED BY HIM OR UNDER HIS SUPERVISION AND THAT THE PLANS CONFORM TO ALL PERTINENT PROVISIONS OF CHAPTER J AND CHAPTER 71 OF THE COUNTY OF LOS ANGELES BUILDING CODE (LATEST EDITION).

REGISTERED ENGINEER R.C.E DATE _____

- THIS PLAN HAS BEEN REVIEWED AND CONFORMS TO THE RECOMMENDATIONS OF SOILS REPORT NO. M14-201 BY MILLER GEOSCIENCES, INC. DATED MARCH 22, 2014 AND UPDATED WITH A REPORT NO. M14-201P-1 DATED JULY 29, 2015.

SIGNATURE & DATE: _____

- THE SOILS REPORT PREPARED BY MILLER GEOSCIENCES, INC., 661-299-2206, PROJECT NO. M14-201, SHALL BECOME A PART OF THIS GRADING PLAN AND ALL RECOMMENDATIONS CONTAINED THEREIN SHALL BE STRICTLY ADHERED TO.
- PERMISSION TO OPERATE IN VERY HIGH FIRE HAZARD SEVERITY ZONE MUST BE OBTAINED FROM THE FIRE PREVENTION BUREAU OR THE LOCAL FIRE STATION PRIOR TO COMMENCING WORK.
- PRIOR TO ROUGH GRADE APPROVAL THIS PROJECT REQUIRES A LANDSCAPE PERMIT. LANDSCAPE PLANS IN COMPLIANCE WITH THE "MODEL WATER EFFICIENT LANDSCAPE ORDINANCE" TITLE 23, CHAPTER 2.7 OF CALIFORNIA CODE OF REGULATIONS (AB1881) MUST BE SUBMITTED TO THE DEPARTMENT OF PUBLIC WORKS, LAND DEVELOPMENT DIVISION, 900 S. FREMONT AVE., 3RD FLOOR, ALHAMBRA, CA 91803 626-458-4921. TO OBTAIN LANDSCAPE PERMIT, APPROVED PLANS AND WATER PURVEYOR ACKNOWLEDGEMENT FORM MUST BE SUBMITTED TO THE LOCAL BUILDING AND SAFETY OFFICE.
- ALL CONCRETE WORK SHALL BE WITH TYPE V CEMENT WITH 0.5 WATER TO CEMENT RATIO, PER SOILS REPORT.

USWMP NOTES:

- ALL STRUCTURAL BMP'S SHALL BE ACCESSIBLE FOR INSPECTION AND MAINTENANCE AND SHALL BEAR A "NO DUMPING - DRAINS TO OCEAN" SYMBOL IN TRAFFIC RATED PAINT. STENCIL IS AVAILABLE AT ANY OF THE L.A. COUNTY BUILDING AND SAFETY'S DISTRICT OFFICES.
- PRIOR TO COMMENCEMENT OF ANY WORK WITHIN THE ROAD RIGHT-OF-WAY, AN ENCROACHMENT PERMIT FROM THE COUNTY OF LOS ANGELES IS REQUIRED.
- PRIOR TO COMMENCEMENT OF ANY WORK AND/OR DISCHARGE OF DRAINAGE TO A WATERCOURSE, A PERMIT FROM BOTH THE CALIFORNIA DEPARTMENT OF FISH AND GAME AND U.S. ARMY CORPS OF ENGINEERS MAY BE REQUIRED.

RECOMMENDED BY:

_____ DATE _____

CHECKED BY:

_____ DATE _____
 PLAN CHECK ENGINEER DATE _____

GRADING PLAN

LOT 1, P.M. 21321

PROPERTY ADDRESS:
 3910 SIERRA HIGHWAY
 ACTON, CA 93510

PROJECT INFORMATION

GENERAL INFORMATION	
GRADING PERMIT APPLICATION #:	EIMP2017000266
EARTHWORK VOLUMES:	CUT: 590 (CY), FILL: 590 (CY)
OVER EXCAVATION & COMPACTION:	12,945 (CY)
EXPORT:	NONE (CY) EXPORT LOCATION: N/A
TOTAL DISTURBED AREA:	(84,942 SF) 1.95 ACRES
TOTAL PROPOSED LANDSCAPE AREA:	14,850 SF
TOTAL TURF AREA (% OF LANDSCAPE):	0 %
TOTAL DROUGHT TOL. AREA :	100% (%OF LANDSCAPE)
PRE-DEV. IMPVIOUS AREA: %IMP	(1,698SF)0.04 AC; 2.0%
POST-DEV. IMPVIOUS AREA: %IMP	(66,070SF)1.52AC; 77.8%
WASTE DISCHARGE IDENT. NO.:	WDD# 492952
CONST./DEMO/DEBRIS RECYC./REUSE PLAN	RRP ID: 082817-1008
POST-CONST. BMP GPS COORDS.	X34.492375,Y-118.200355

PROPERTY INFORMATION

PROPERTY ADDRESS: 3910 SIERRA HIGHWAY ACTON, CA 93510

PARCEL MAP NO. 21321	PARCEL NO. 1
PROPERTY OWNER:	DOUG & JOANNA GAUDI
ASSESSORS I.D. NUMBER	3217-021-022

ZONING, REGIONAL PLANNING INFORMATION

PROPERTY ZONING:	C-RU-DP
INTENDED LAND USE:	RETAIL
CERTIFICATE OF COMPLIANCE:	N/A
PLOT PLAN NUMBER:	N/A
CONDITIONAL USE PERMIT:	CUP NO. 2014-00037-5
OAK TREE PERMIT NUMBER:	N/A
COMMUNITY STANDARDS DISTRICT:	N/A
CALIF. COASTAL COMM. AREA:	N/A
COASTAL DEVELOPMENT PERMIT:	N/A
OTHER AGENCY PERMITS:	N/A

OWNER:

DOUG & JOANNA GAUDI
 43233 55th STREET EAST
 LANCASTER, CA
 661-810-5671

GEOTECHNICAL ENGINEER

MILLER GEOSCIENCES INC.
 23890 COPPER HILL DR., #111
 VALENCIA, CA 91354
 661-299-2206

OAK TREES

THERE ARE NO OAK TREES PRESENT ON THE SITE.

WDD# 492952
 CUP# 2014-00037-(5)
 G.P.CHECK# EIM2017000266

COUNTY OF LOS ANGELES

SITE GRADING & DRAINAGE PLAN

TENTATIVE PARCEL MAP NO.73226

ACTON RETAIL CENTER
3910 SIERRA HIGHWAY
ACTON, CA 93510

PLAN DATE
 2-12-18

SHEET 1 OF 4 SHEETS

BENCH MARK: ELEV. 2967.550 (BM#L1546)
 NAVD 1988 BASELINE QUAD (2009) ADJ
 CS MON FL @ NE COR SIERRA HWY &
 CROWN VALLEY RD 50' N & 30' E/O
 C/L INT MKD (R/W MON RE 2177)

STEPHEN W. JONES
 CONSULTING CIVIL ENGINEER

136 N. GRAND AVE., STE 154
 WEST COVINA, CA 91791
 626-332-3366
 626-332-3366 FAX
 sjones.rcc302@yahoo.com



REVISED BY: _____ DATE: _____

REVISED BY: _____ DATE: _____

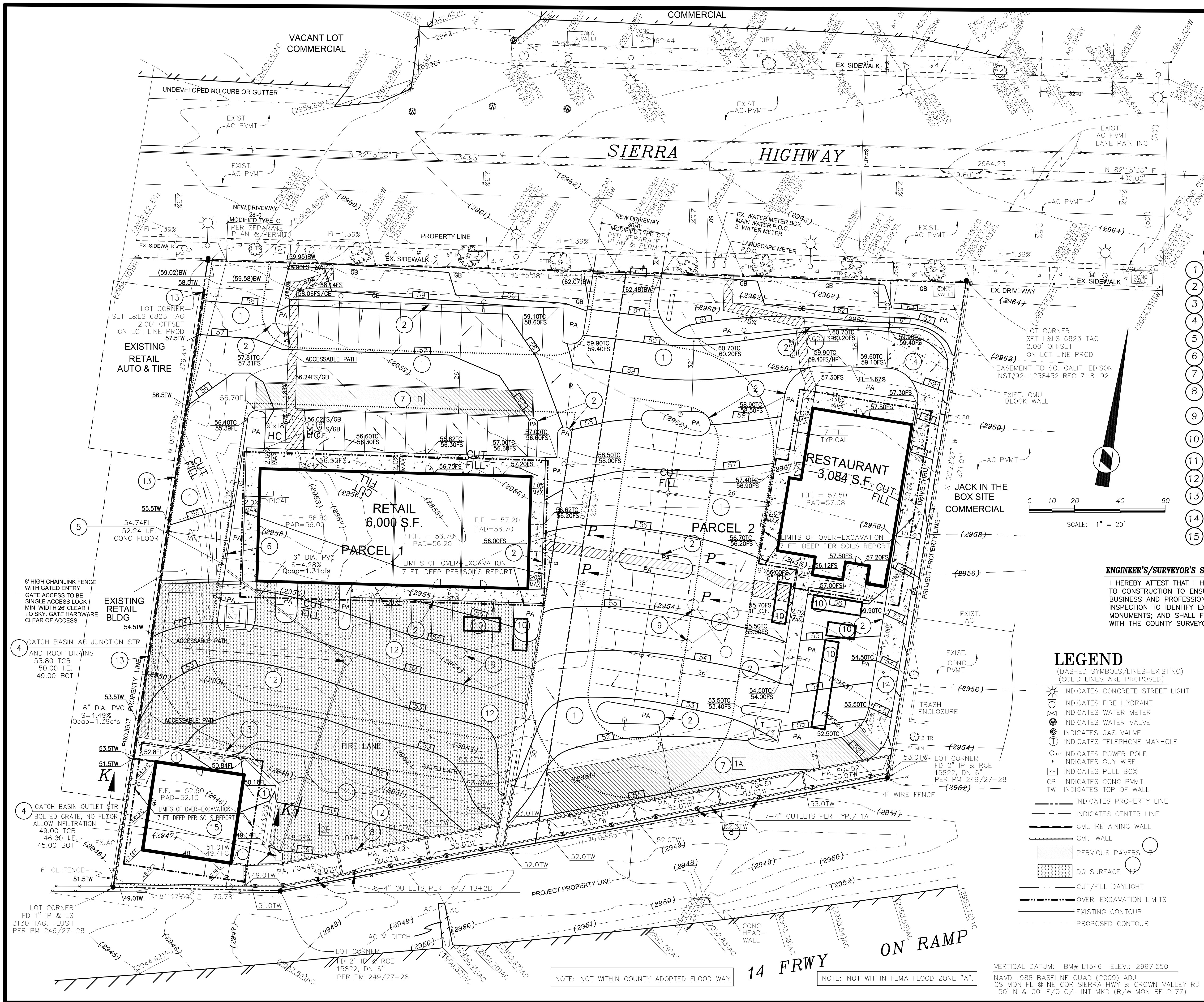
APPROVED BY: _____ DATE: _____

APPROVED BY: _____ DATE: _____

RCE NO. 38302
 EXP. 3/31/19

SIGNATURE _____

DATE _____



EARTHWORK CALCULATIONS:
 ESTIMATED: CUT=590 CUBIC YARDS FILL=590 CUBIC YARDS
 OVER-EXCAVATION: BUILDINGS=8,718 CUBIC YARDS
 PARKING LOT=4,227 CUBIC YARDS
 TOTAL OVER-EX=12,945 CUBIC YARDS

DATE OF MAINTENANCE AGREEMENT: _____
 PROPOSED IMPERVIOUS AREA: 66,070 SQ. FT.
 DESIGN STORM: (CHECK ONE) 85TH PERCENTILE 0.75-INCH
 SWDDV: 3.264 C.F. 100 PERCENT TO BE RETAINED ON SITE
 LID SOLUTION: (CHECK ONE) INFILTRATION BIOFILTRATION

I HAVE COMPLIED WITH THE CRITERIA OF MWEL0 AND APPLIED THE REQUIREMENTS ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE GRADING DESIGN PLAN.

STEPHEN W. JONES CONSULTING CIVIL ENGINEER

CONSTRUCTION NOTES

- 1 ASPHALT PAVING PER DETAIL (A).
- 2 PCC CURB PER DETAIL (B).
- 3 PCC SWALE PER DETAIL (C).
- 4 INSTALL CATCH BASIN PER PLAN AND DETAIL (D).
- 5 INSTALL CATCH BASIN PER DETAIL (D) OR EQUAL.
- 6 CONSTRUCT PCC CURB & GUTTER PER DETAIL (E).
- 7 INSTALL PERVIOUS PAVEMENT PER DETAIL (H).
- 8 CONSTRUCT CONTAINMENT WALLS AND OUTLETS PER SECTION (G) AND DETAIL (I).
- 9 5" DIA. SEEPAGE PITS WITH 100% EXPANSION. (PER SEPARATE PLAN & PERMIT)
- 10 SEWAGE DISPOSAL SEPTIC TANKS AND FILTERS. (PER SEPARATE PLAN & PERMIT)
- 11 UNPAVED PONDING AREA (DG OR GRAVEL SURFACE)
- 12 UNPAVED AREA (DG OR GRAVEL SURFACE)
- 13 CONSTRUCT RETAINING WALL PER DETAIL (L) AND PER APWA STD PLAN 618-1, TYPE B (SEPARATE PLAN & PERMIT)
- 14 CONSTRUCT PCC PAVING PER DETAIL (M).
- 15 OVER-EXCAVATION WITHIN PROPERTY PER SECTION A-A' IN SOILS REPORT M14-201-2, PLATE 2.

ENGINEER'S/SURVEYOR'S STATEMENT REGARDING THE PRESENCE OF MONUMENTS WITHIN PROJECT LIMITS
 I HEREBY ATTEST THAT I HAVE LOCATED AND REFERENCED ON THESE PLANS THE MONUMENTS EXISTING PRIOR TO CONSTRUCTION TO ENSURE PERPETUATION OF THEIR LOCATION IN ACCORDANCE WITH SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE. I FURTHER ATTEST THAT I HAVE PERFORMED A RECORD SEARCH AND FIELD INSPECTION TO IDENTIFY EXISTING MONUMENTS; SHALL SET SUFFICIENT CONTROLLING, WITNESS AND PERMANENT MONUMENTS; AND SHALL FILE THE REQUISITE CORNER RECORD OR RECORD OF SURVEY OF THE REFERENCES WITH THE COUNTY SURVEYOR.

LEGEND

- (DASHED SYMBOLS/LINES=EXISTING)
 (SOLID LINES ARE PROPOSED)
- INDICATES CONCRETE STREET LIGHT
 - INDICATES FIRE HYDRANT
 - INDICATES WATER METER
 - INDICATES WATER VALVE
 - INDICATES GAS VALVE
 - INDICATES TELEPHONE MANHOLE
 - INDICATES POWER POLE
 - INDICATES GUY WIRE
 - INDICATES PULL BOX
 - INDICATES CONC PVMT
 - INDICATES TOP OF WALL
 - INDICATES PROPERTY LINE
 - INDICATES CENTER LINE
 - CMU RETAINING WALL
 - CMU WALL
 - PERVIOUS PAVERS
 - DG SURFACE
 - CUT/FILL DAYLIGHT
 - OVER-EXCAVATION LIMITS
 - EXISTING CONTOUR
 - PROPOSED CONTOUR

SURVEYOR SEAL & SIGNATURE _____ DATE _____
 WDD# 492952
 CUP# 2014-00037-(5)
 G.P.CHECK# EIM2017000266

STEPHEN W. JONES 136 N. GRAND AVE. 136
 CONSULTING CIVIL ENGINEER SUITE 154 WEST COVINA, CA 91791
 626-332-3368 sjones.rce302@yahoo.com
 RCE NO. 38302 EXP. 3/31/19

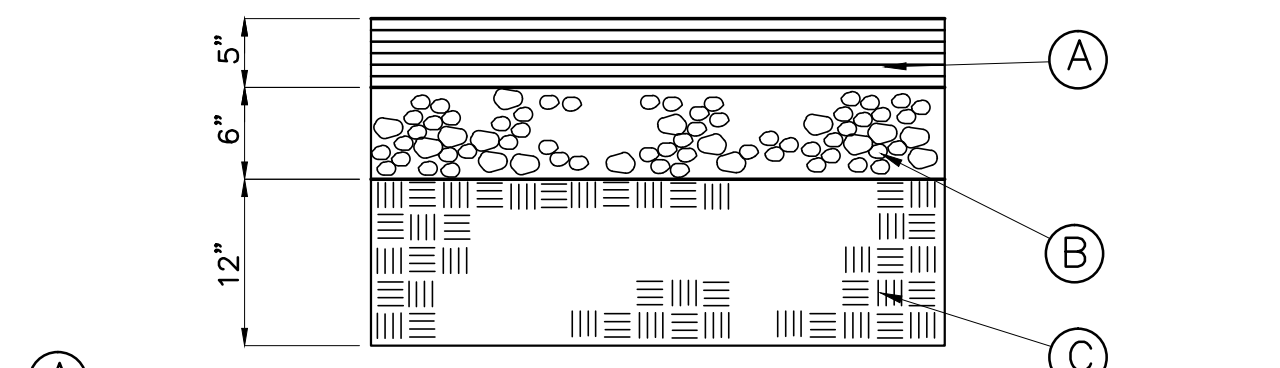
COUNTY OF LOS ANGELES
SITE GRADING & DRAINAGE PLAN
 TENTATIVE PARCEL MAP NO.73226
ACTON RETAIL CENTER
 3910 SIERRA HIGHWAY
 ACTON, CA 93510

SIGNATURE _____ DATE _____
 PLAN DATE 2-12-18 SHEET 2 OF 4 SHEETS

NOTE: NOT WITHIN COUNTY ADOPTED FLOOD WAY.

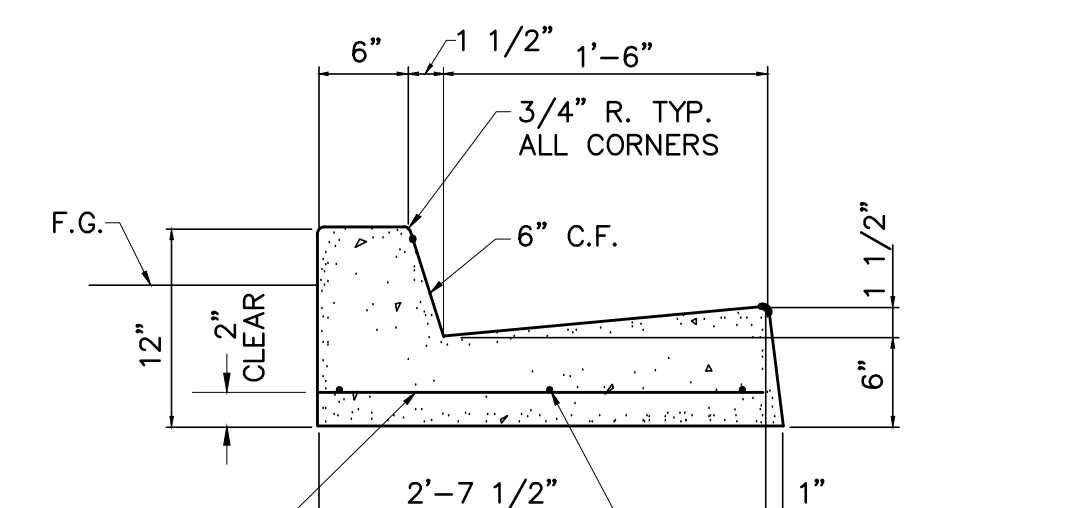
NOTE: NOT WITHIN FEMA FLOOD ZONE "A".

VERTICAL DATUM: BM# L1546 ELEV.: 2967.550
 NAVD 1988 BASELINE QUAD (2009) ADJ
 CS MON FL @ NE COR SIERRA HWY & CROWN VALLEY RD
 50' N & 30' E/O C/L INT MKD (R/W MON RE 2177)

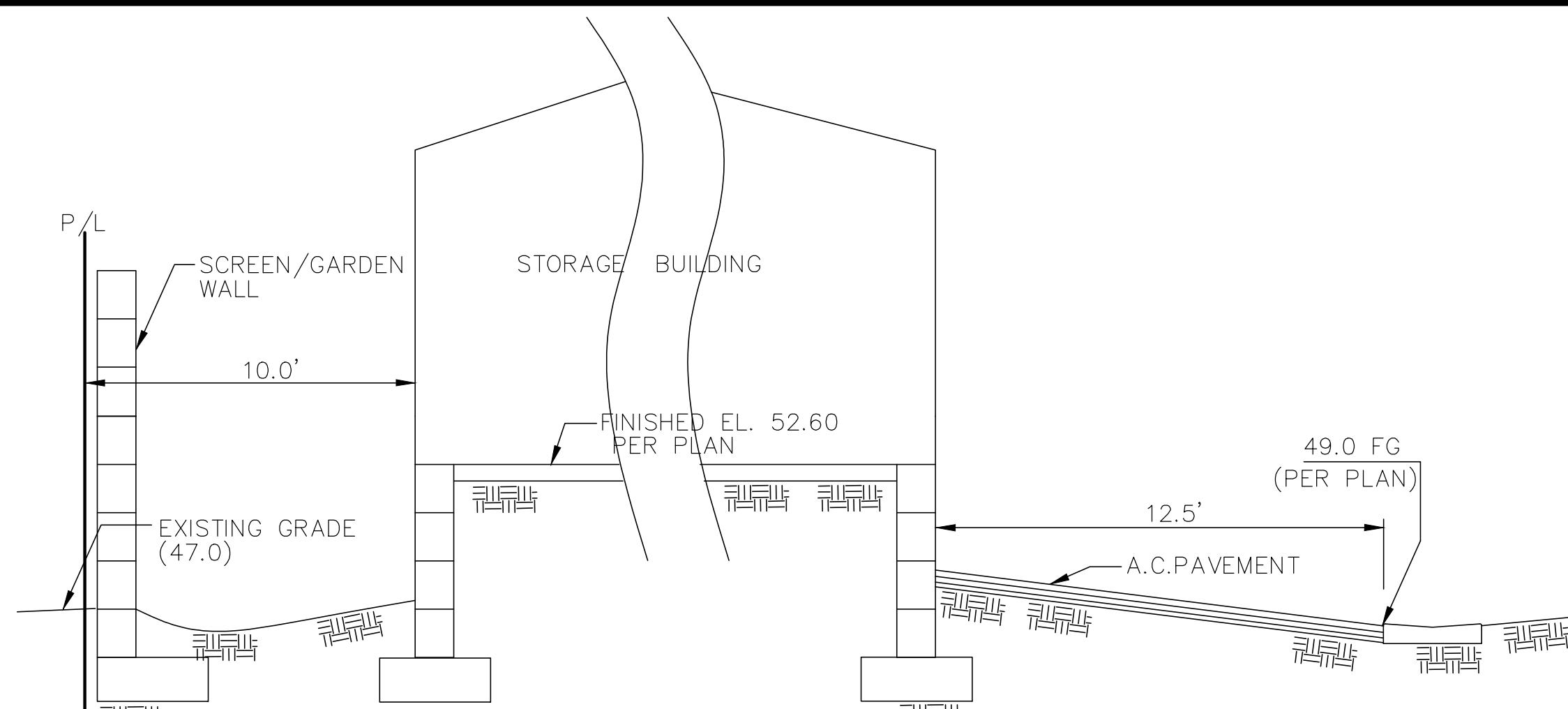


- (A) A.C. PAVING -LIFT- PER P.W.C.* 203-6, C-1 AR4000
- (B) CRUSHED AGGREGATE BASE PER P.W.C.* 200-2, 3/4" PLACE PER P.W.C.*301-2
- (C) NATIVE SOIL-SCARIFY AND RECOMPACT TO 90% OF MAX. DENSITY
* STD. SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION

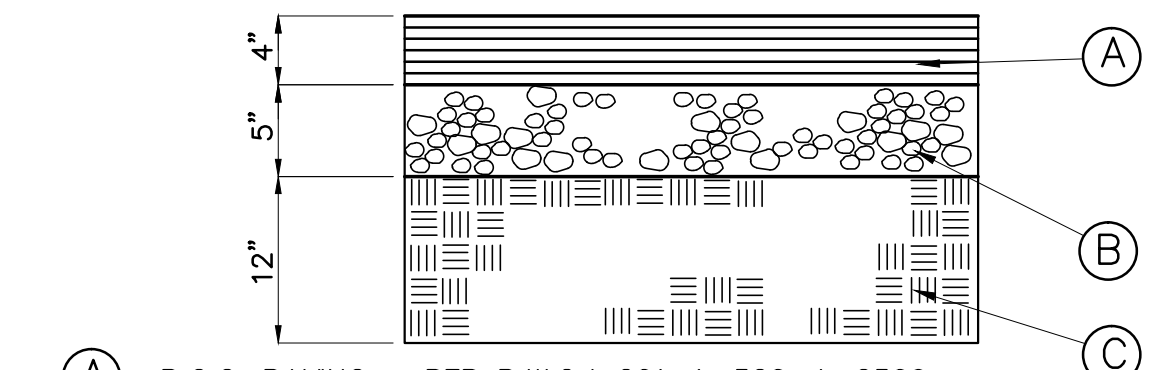
A.C. PAVING SECTION A
NOT TO SCALE



PCC CURB & GUTTER E
NOT TO SCALE

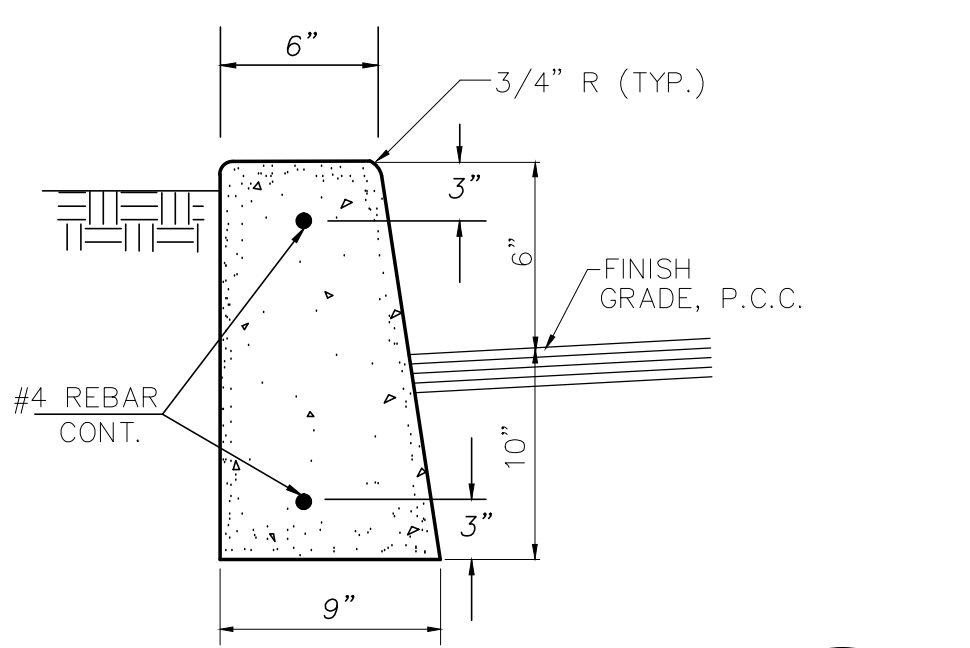


SECTION K - K
NOT TO SCALE

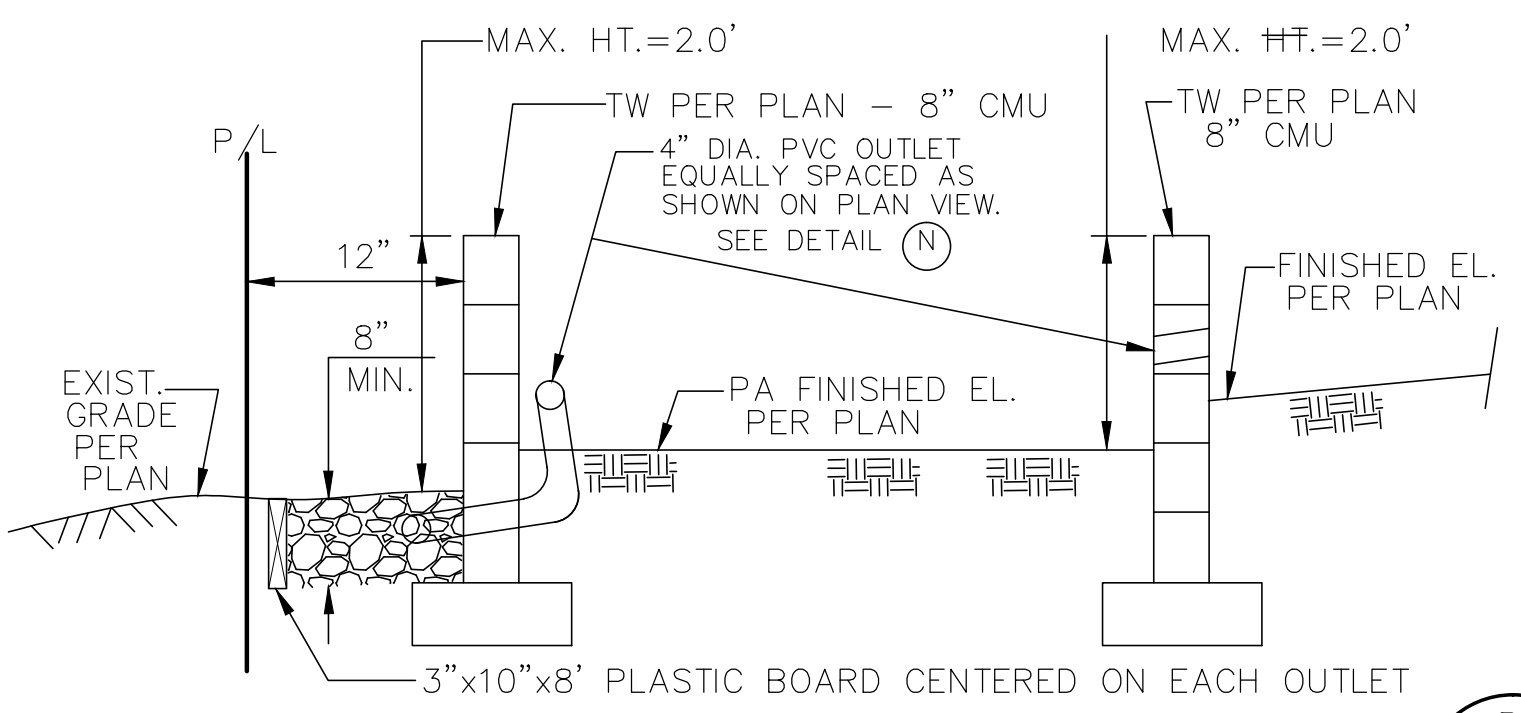


- (A) P.C.C. PAVING - PER P.W.C.* 201-1, 520-A-2506
- (B) CRUSHED AGGREGATE BASE PER P.W.C.* 200-2, 3/4" PLACE PER P.W.C.* 301-2
- (C) NATIVE SOIL-SCARIFY AND RECOMPACT TO 90% OF MAX. DENSITY
* STD. SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION

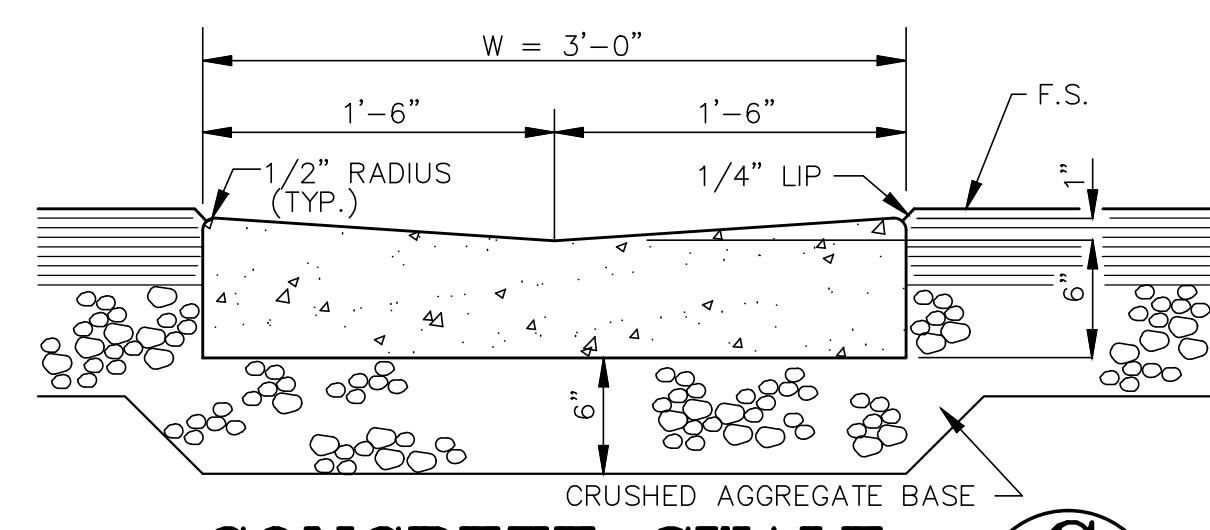
P.C.C. PAVING SECTION M
NOT TO SCALE



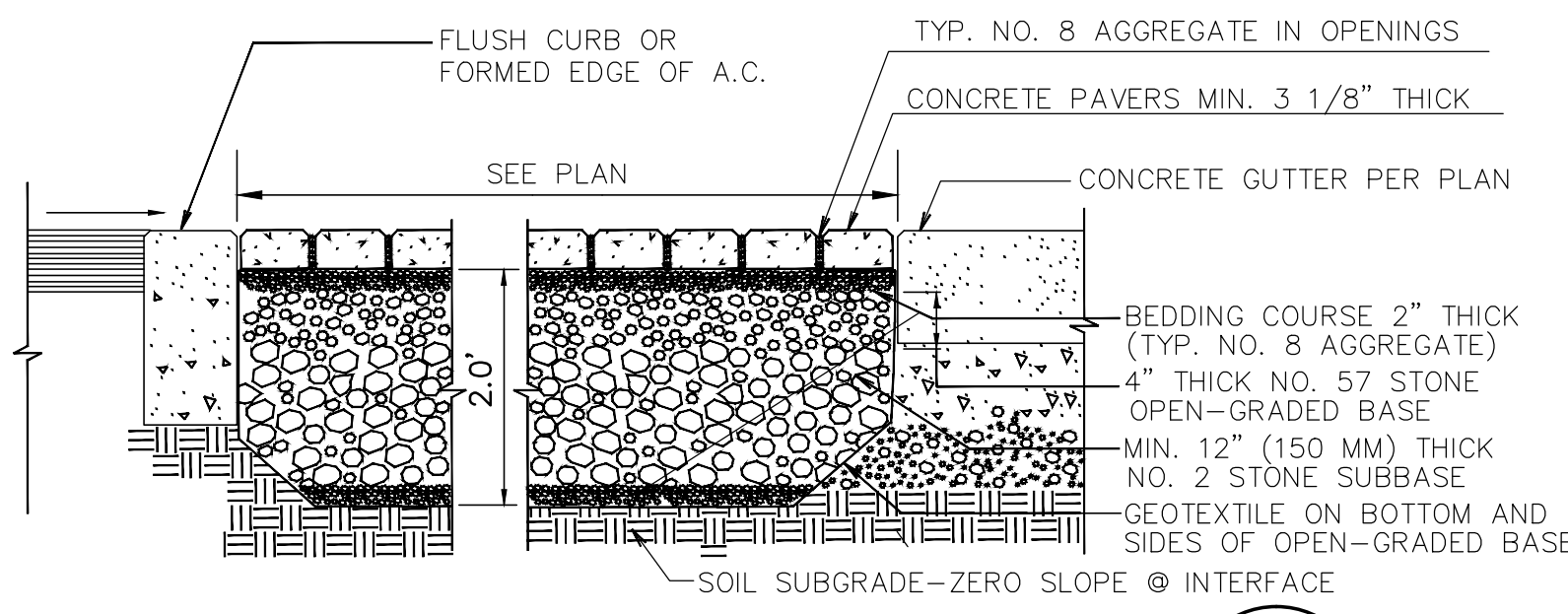
CONCRETE CURB B
NOT TO SCALE



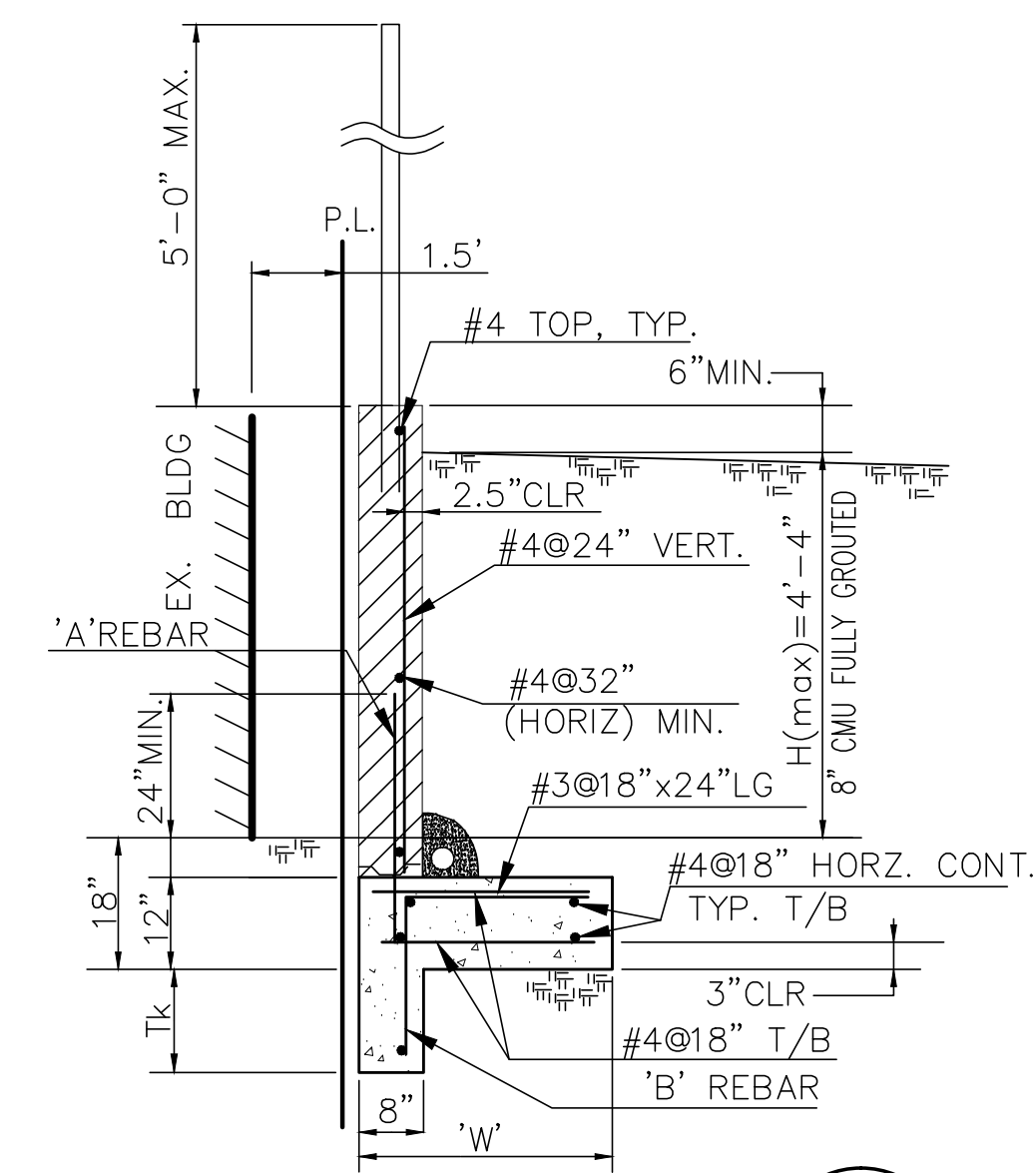
TYPICAL SECTION - SOUTH PROPERTY LINE G
(SEE PLAN VIEW FOR ADDITIONAL DIMENSIONS)



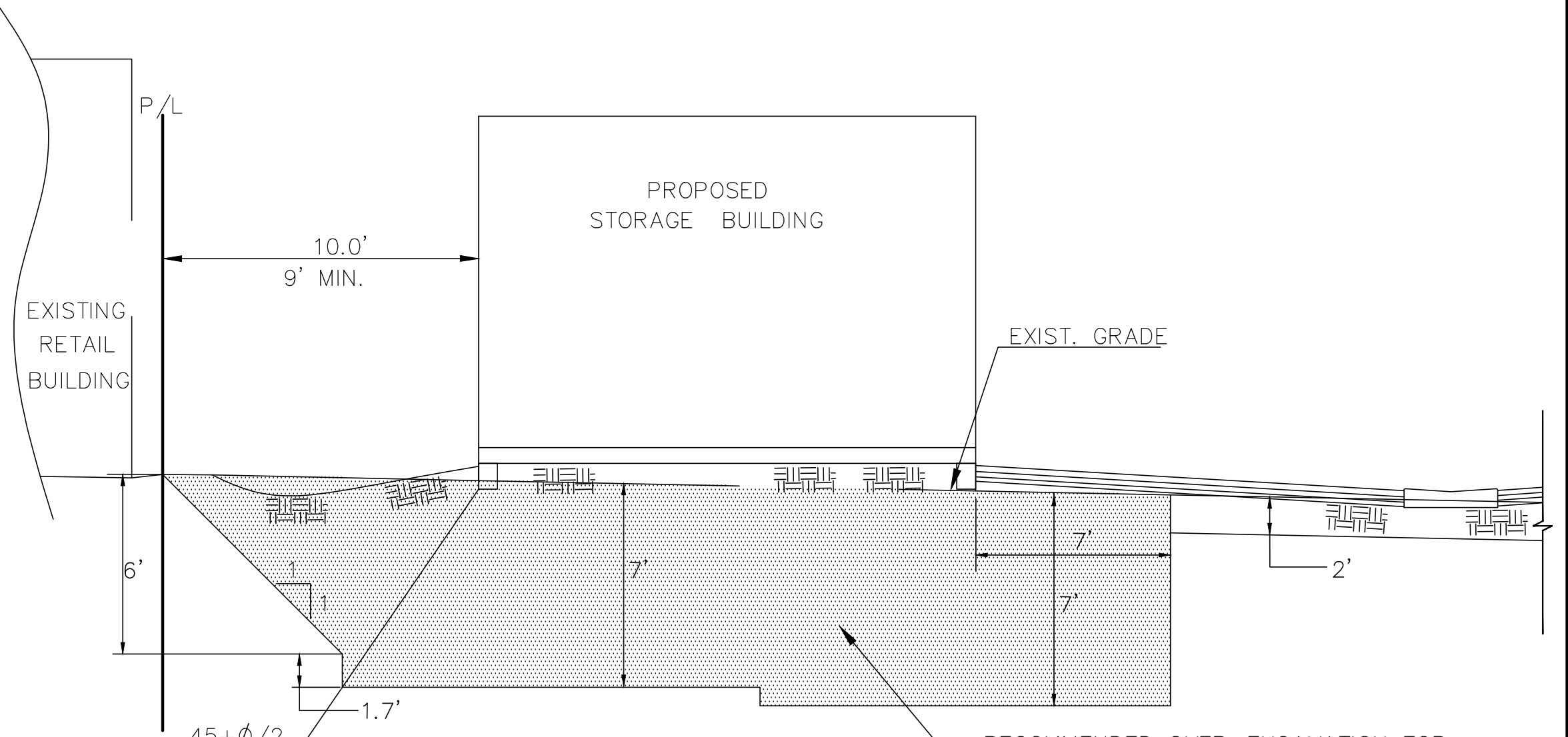
CONCRETE SWALE C
NOT TO SCALE



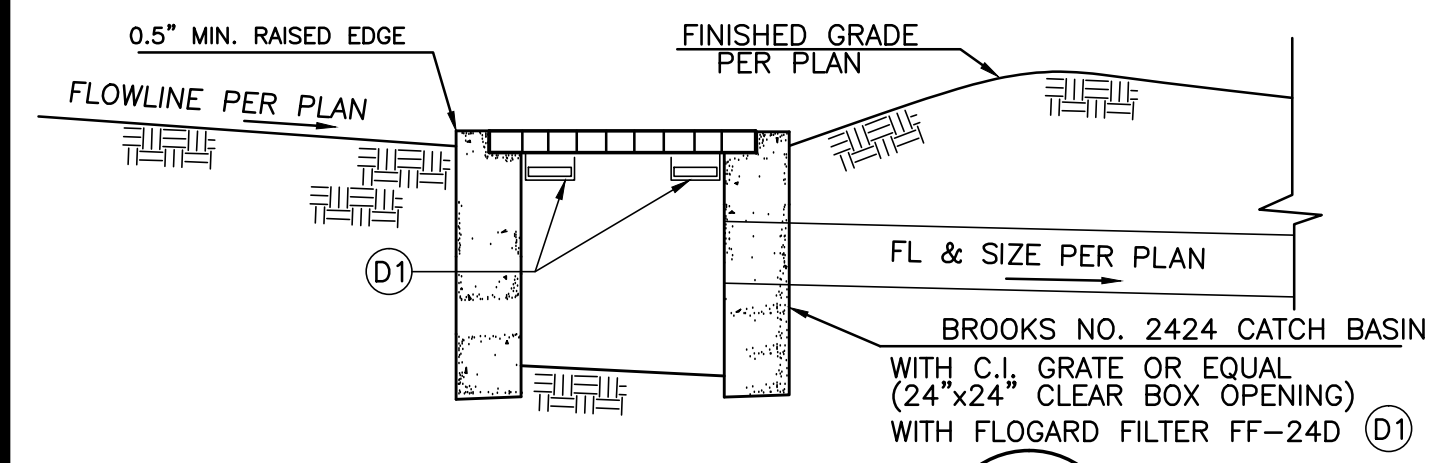
PERVIOUS PAVEMENT H
NOT TO SCALE



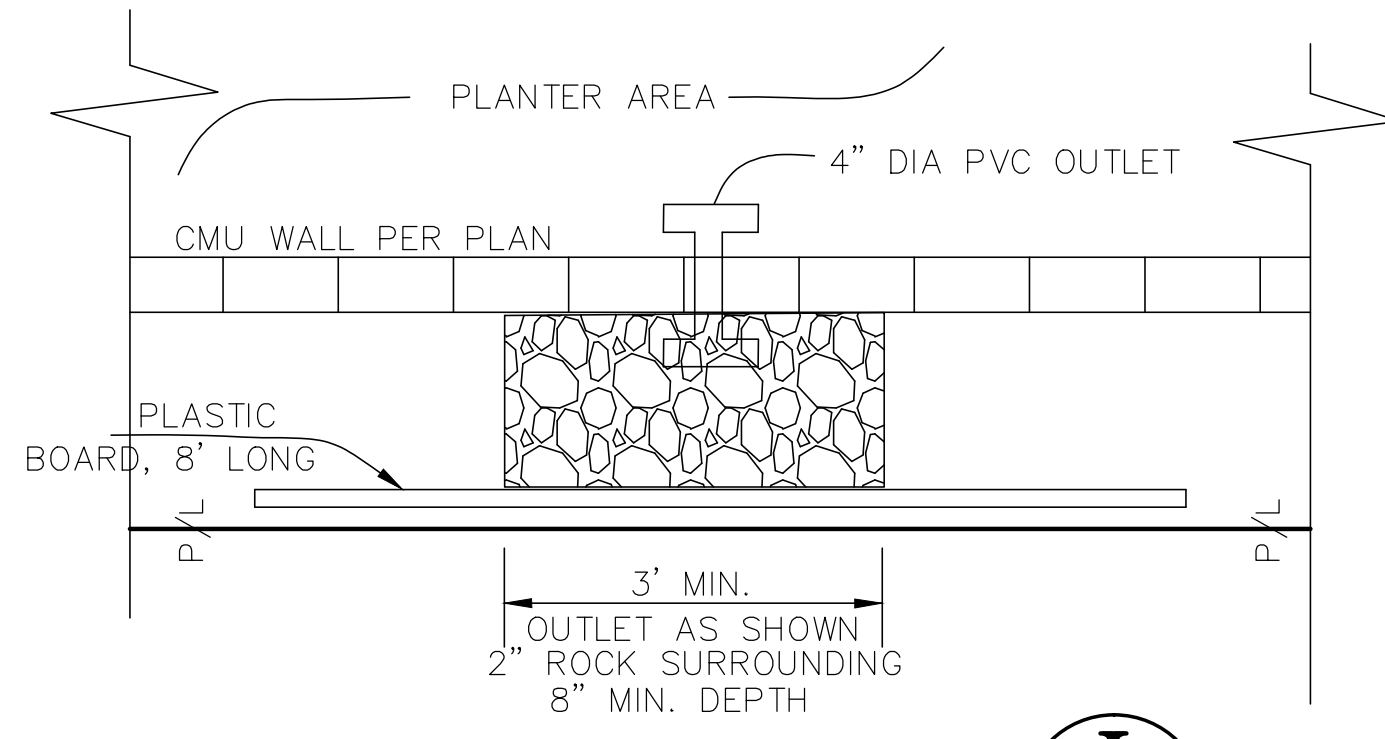
RETAINING WALL L
NOT TO SCALE



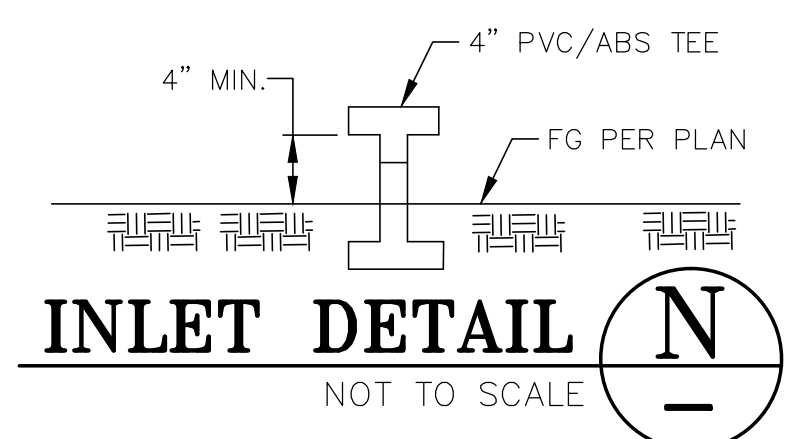
SECTION A - A'
NOT TO SCALE (PER MILLER GEOSCIENCES, INC.)
(M14-201-2, PLATE 2)



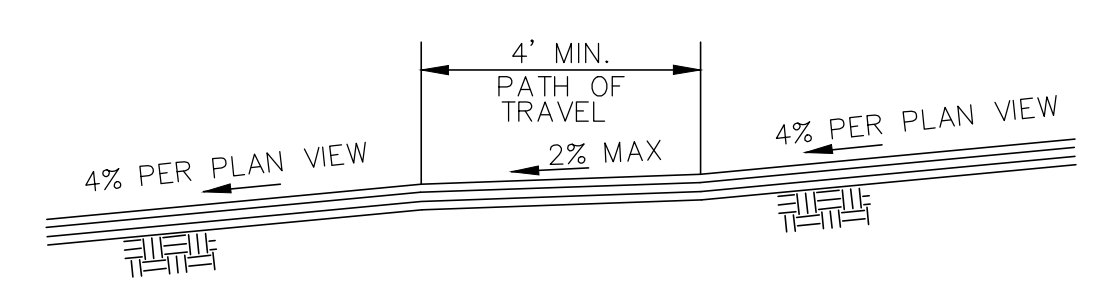
CATCH BASIN D
NOT TO SCALE



PLAN VIEW (SOUTH P/L) I
(SEE SECTION G, THIS SHEET)



INLET DETAIL N
NOT TO SCALE

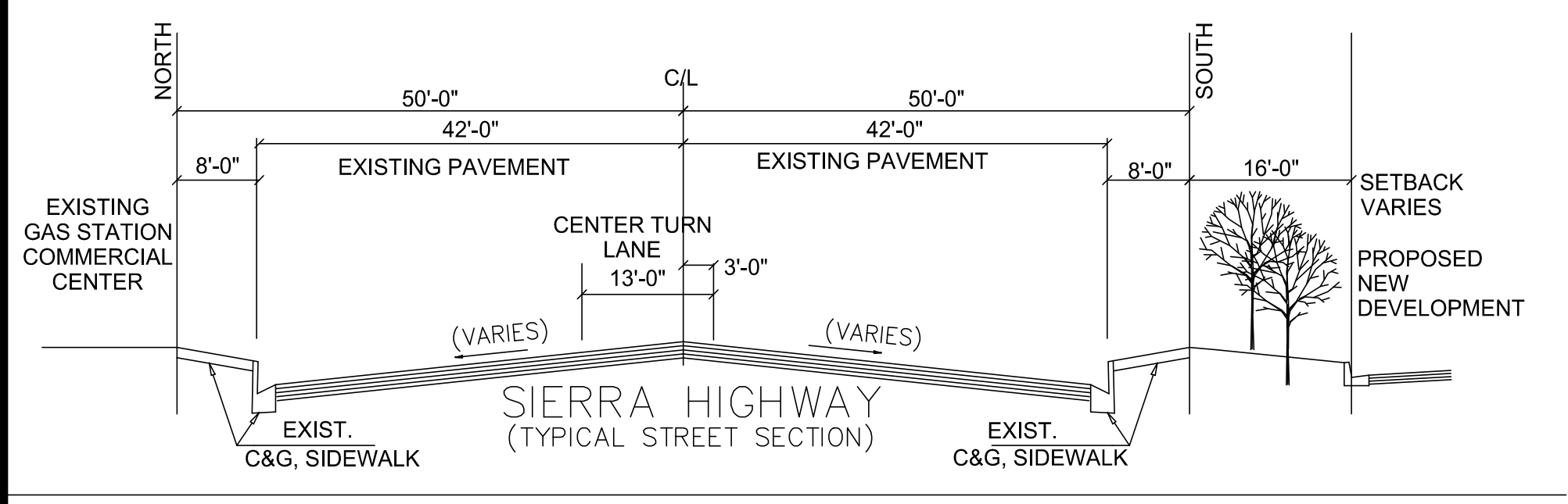


SECTION P - P
NOT TO SCALE

RETAINING WALL SCHEDULE

Hmax(ft.)	W (ft)	Tk	'A' REBARS	'B' REBARS
5'-0"	3'-6"	18"	#7@8"	#5@16"
4'-0"	3'-0"	12"	#5@16"	#4@16"
3'-0"	2'-6"	8"	#4@16"	#4@16"
<2'-0"	2'-0"	4"	#4@16"	#4@16"

WDID# 492952
CUP# 2014-00037-(5)
G.P.CHECK# EIM2017000266



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626-332-3368
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sjones.rce302@yahoo.com

RCE NO. 38302
EXP. 3/31/19



REVISIONS			
REVISED BY:	DATE:	REVISED BY:	DATE:
APPROVED BY:	DATE:	APPROVED BY:	DATE:

COUNTY OF LOS ANGELES

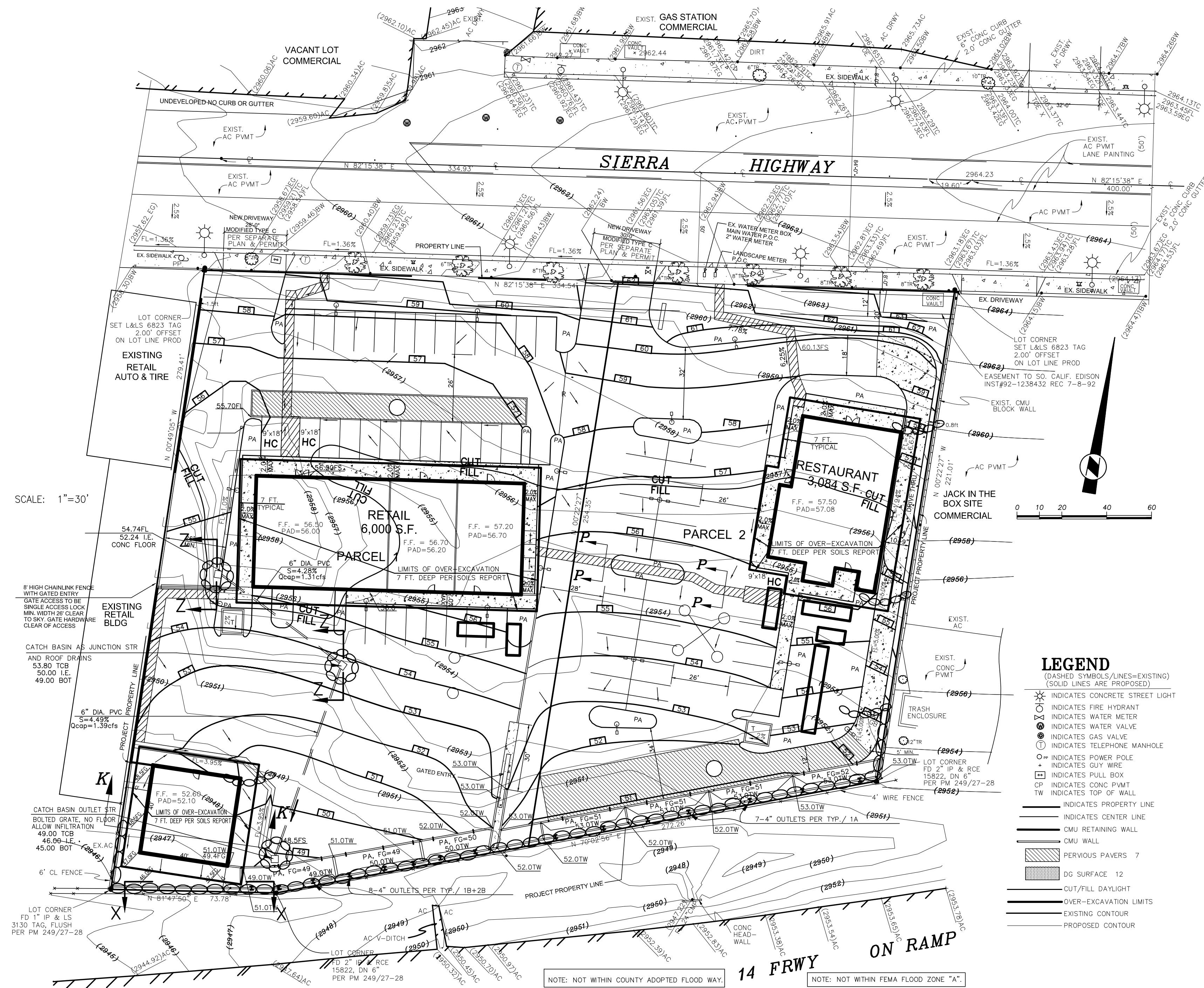
DETAIL SHEET

TENTATIVE PARCEL MAP NO.73226
ACTON RETAIL CENTER
3910 SIERRA HIGHWAY
ACTON, CA 93510

RECOMMENDED BY: _____
CHECKED BY: _____
PLAN CHECK ENGINEER: _____ DATE: _____

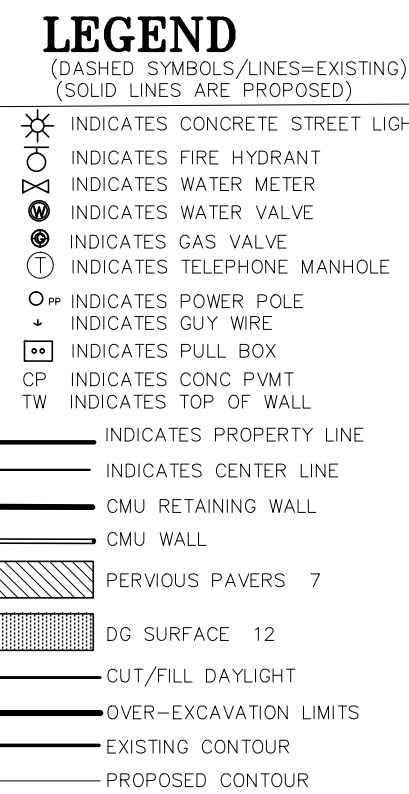
PLAN DATE: 2-12-18
SHEET 3 OF 4 SHEETS

WET WEATHER EROSION CONTROL PLAN

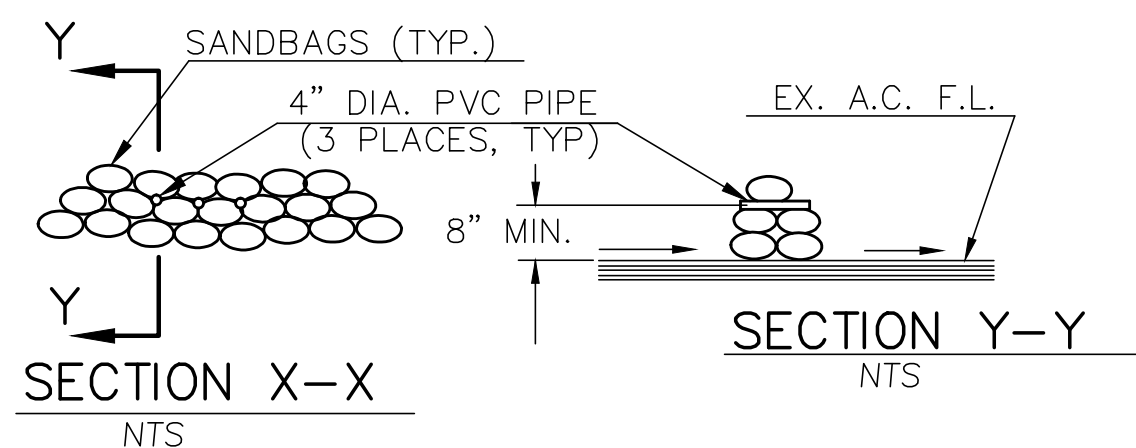


EROSION CONTROL NOTES

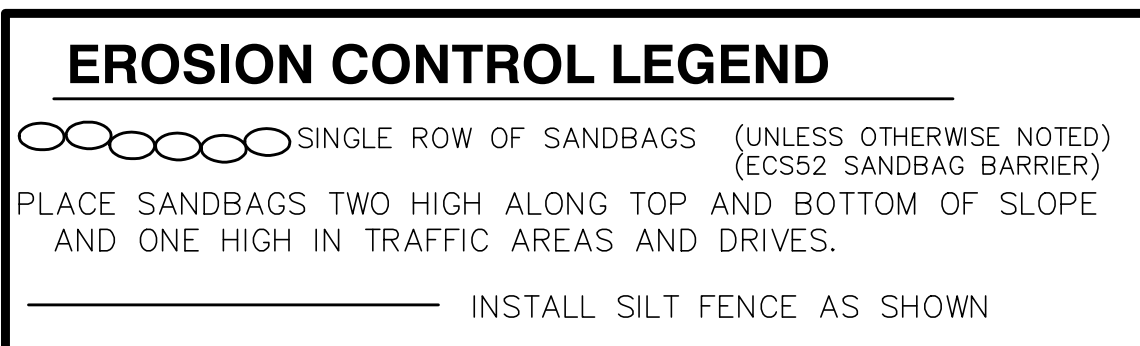
- IN CASE OF EMERGENCY, CALL: ROBERT FRIEDMAN AT 626-484-5251.
- A STAND-BY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (NOV TO APR 15). NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF EMERGENCY DEVICES WHEN RAIN IS IMMINENT.
- EROSION CONTROL DEVICES SHOWN ON THIS PLAN MAY BE REMOVED WHEN APPROVED BY THE GRADING INSPECTOR IF THE GRADING OPERATION HAS PROGRESSED TO THE POINT WHERE THEY ARE NO LONGER REQUIRED.
- GRADED AREAS ADJACENT TO FILL SLOPES LOCATED AT THE SITE PERIMETER MUST DRAIN AWAY FROM THE TOP OF SLOPE AT THE CONCLUSION OF EACH WORKING DAY. ALL LOOSE SOILS AND DEBRIS THAT MAY CREATE A POTENTIAL HAZARD TO OFF-SITE PROPERTY SHALL BE STABILIZED OR REMOVED FROM THE SITE ON A DAILY BASIS.
- ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL DEVICES WITHIN 24 HOURS AFTER EACH RAINSTORM AND DISPOSED OF PROPERLY.
- A GUARD SHALL BE POSTED ON THE SITE WHENEVER THE DEPTH OF WATER IN ANY DEVICE EXCEEDS TWO FEET. THE DEVICE SHALL BE DRAINED OR PUMPED DRY WITHIN 24 HOURS AFTER EACH RAINSTORM. PUMPING AND DRAINING OF ALL BASINS AND DRAINAGE DEVICES MUST COMPLY WITH THE APPROPRIATE BMP FOR DEWATERING OPERATIONS.
- THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE EROSION DAMAGE AND CONTAIN POLLUTANTS WITHIN THE SITE IS LEFT TO THE DISCRETION OF THE FIELD ENGINEER. ADDITIONAL DEVICES AS NEEDED SHALL BE INSTALLED TO RETAIN SEDIMENTS AND OTHER POLLUTANTS ON SITE.
- DESILTING BASINS MAY NOT BE REMOVED OR MADE INOPERABLE BETWEEN NOV. 1 AND APRIL 15 OF THE FOLLOWING YEAR, WITHOUT THE APPROVAL OF THE BLDG. OFFICIAL.
- STORM WATER POLLUTION AND EROSION CONTROL DEVICES ARE TO BE MODIFIED AS NEEDED AS THE PROJECT PROGRESSES. THE DESIGN AND PLACEMENT OF THESE DEVICES IS THE RESPONSIBILITY OF THE FIELD ENGINEER. PLANS REPRESENTING CHANGES MUST BE SUBMITTED FOR APPROVAL IF REQUESTED BY THE BUILDING OFFICIAL.
- EVERY EFFORT SHOULD BE MADE TO ELIMINATE THE DISCHARGE OF NONSTORM WATER FROM THE PROJECT SITE AT ALL TIMES.
- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS MUST BE PROTECTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
- FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOILS AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- DEVELOPERS/CONTRACTORS ARE RESPONSIBLE TO INSPECT ALL EROSION CONTROL DEVICES AND BMP'S ARE INSTALLED AND FUNCTIONING PROPERLY IF THERE IS A 40% CHANCE OF 0.25 INCHES OR GREATER OF PREDICTED PRECIPITATION AND AFTER ACTUAL PRECIPITATION. A CONSTRUCTION SITE INSPECTION CHECKLIST AND INSPECTION LOG SHALL BE MAINTAINED AT THE PROJECT SITE AT ALL TIMES AND AVAILABLE FOR REVIEW BY THE BUILDING OFFICIAL (COPIES OF THE SELF-INSPECTION CHECK LIST AND INSPECTION LOGS ARE AVAILABLE UPON REQUEST).
- TRASH AND CONSTRUCTION-RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- ANY SLOPES WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
- AS THE ENGINEER OF RECORD, I HAVE SELECTED APPROPRIATE BMP'S TO EFFECTIVELY MINIMIZE THE NEGATIVE IMPACTS OF THIS PROJECT'S CONSTRUCTION ACTIVITIES ON STORM WATER QUALITY. THE PROJECT OWNER AND CONTRACTOR ARE AWARE THAT THE SELECTED BMP'S MUST BE INSTALLED, MONITORED AND MAINTAINED TO ENSURE THEIR EFFECTIVENESS. THE BMP'S NOT SELECTED FOR IMPLEMENTATION ARE REDUNDANT OR DEEMED NOT APPLICABLE TO THE PROPOSED CONSTRUCTION ACTIVITY.



CIVIL ENGINEER'S SIGNATURE _____ DATE _____



ALL EQUIPMENT CLEANING AND MAINTENANCE SHALL BE COMPLETED OFF-SITE WHEN POSSIBLE



WDD# 492952
CUP# 2014-00037-(5)
G.P.CHECK# EIM2017000266

SEE SHEET 1 OF 3 FOR EROSION CONTROL, STORMWATER CONTROL AND SUSMP NOTES.

COUNTY OF LOS ANGELES WET WEATHER EROSION CONTROL PLAN

TENTATIVE PARCEL MAP NO.73226
ACTON RETAIL CENTER
3910 SIERRA HIGHWAY
ACTON, CA 93510

REVISIONS			
REVISED BY:	DATE:	REVISED BY:	DATE:
APPROVED BY:	DATE:	APPROVED BY:	DATE:

RECOMMENDED BY: _____
CHECKED BY: _____
PLAN CHECK ENGINEER _____ DATE _____

STEPHEN W. JONES
CONSULTING CIVIL ENGINEERS
136 N. GRAND AVE., STE 154
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